

5517 Mount Zion Rd.
Milford, OH 45150

September 27, 2023

Anderson Township Board of Zoning Appeals
7850 Five Mile Road
Cincinnati, OH 45230



To whom it may concern,

I am writing to you today to present a case in which a zoning Variance is being sought. The owners of the subject property, 648 Dunwoodie Dr., in Anderson Township, are looking to replace the existing paver patio with a covered, concrete patio. The dimensions of the existing patio are 21'x21'. The owner is looking to replace this patio with a slightly smaller Patio and cover that is 20' x 21'. With this being a corner lot, the setback requirement for this rear yard is 60', practically making any patio cover not permissible, rear or side yard. We have decreased the covered patio depth from 21' to 20' to meet the 25' sideyard setback requirement.

There are many factors as to why this variance is being sought; Originally in the design of the structure, the homeowner wanted to achieve a ~400 sq ft of covered living area accessible from the first floor family room. This area was selected to provide adequate space for both outdoor dining and lounging. The Final dimensions presented in the plans were determine as described below:

- The Side yard setback for this zoning district is 25'. With this subject property being a corner lot, it was determined that the structure should not impose upon the side yard setback.

- With the Subject property being a corner lot, Reducing the setback to 25' will not cause any visual disruption in the layout of the subdivision.

We are seeking a variance because we believe that this project will not be viable otherwise. In doing so, we hope to improve curb appearance by replacing a fairly conditioned patio with a new, Covered patio. It is highly improbable that any hardships will be created for neighboring property owners.. The subject property also has several mature trees which will obstruct the view of the patio. With this information, we hope that you will hear our case for the setback variance.

Regards,

Kyle Slagh
513-768-2708



Anderson Township
Anderson Center
7850 Five Mile Road
Anderson Township, Ohio 45230-2356
Phone: 513.688.8400
AndersonTownship.org
AndersonCenterEvents.org

**NOTICE OF REFUSAL
ZONING CERTIFICATE**

OWNER: Mark McCall
648 Dunwoodie Dr
Cincinnati, OH 45230

APPLICANT: Kyle Slagh

Your application of March 17, 2026 for a zoning certificate for new 20' x 21' covered patio addition in the rear yard, per the drawing attached, at the premises designated as 648 Dunwoodie Drive, Book 500, Page 333, Parcel 72, Zoned "AA" Residence, Anderson Township, is hereby refused on this 20th day of March, 2026, under Article 3.1, D, 2, c of the Anderson Township Zoning Resolution for the reason(s) that:

Article 3.1, D, 2, c – In part..... Except as hereinafter provided in Article 5.2 there shall be a rear yard having a depth of not less than sixty (60) feet.

March 20, 2026
Date

Eli Davies
Planner I

Note: Any appeal made from this refusal must be filed with the Anderson Township Board of Zoning Appeals within twenty (20) days after the date of this refusal. For further information, contact Anderson Township Land Use Administrator at (513) 688-8400.

Mccall Patio Cover

Client: Mark Mccall

Address: 648 Dunwoodie Dr, Cincinnati, OH 45230

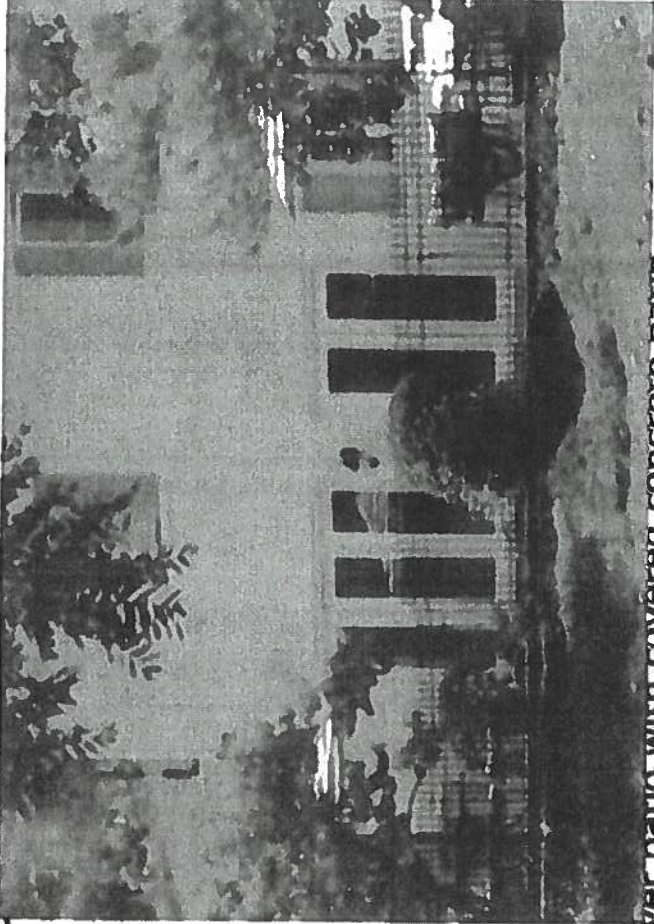
Drawings prepared by Kyle Slagh on 3/5/26

All Work to be either performed or supervised and reviewed by Kyle Slagh

Project utilizes a Truss package designed by Steve Brittain with Mccabe Lumber. See attached Drawing. Sealed Drawings Shall be provided upon completion.

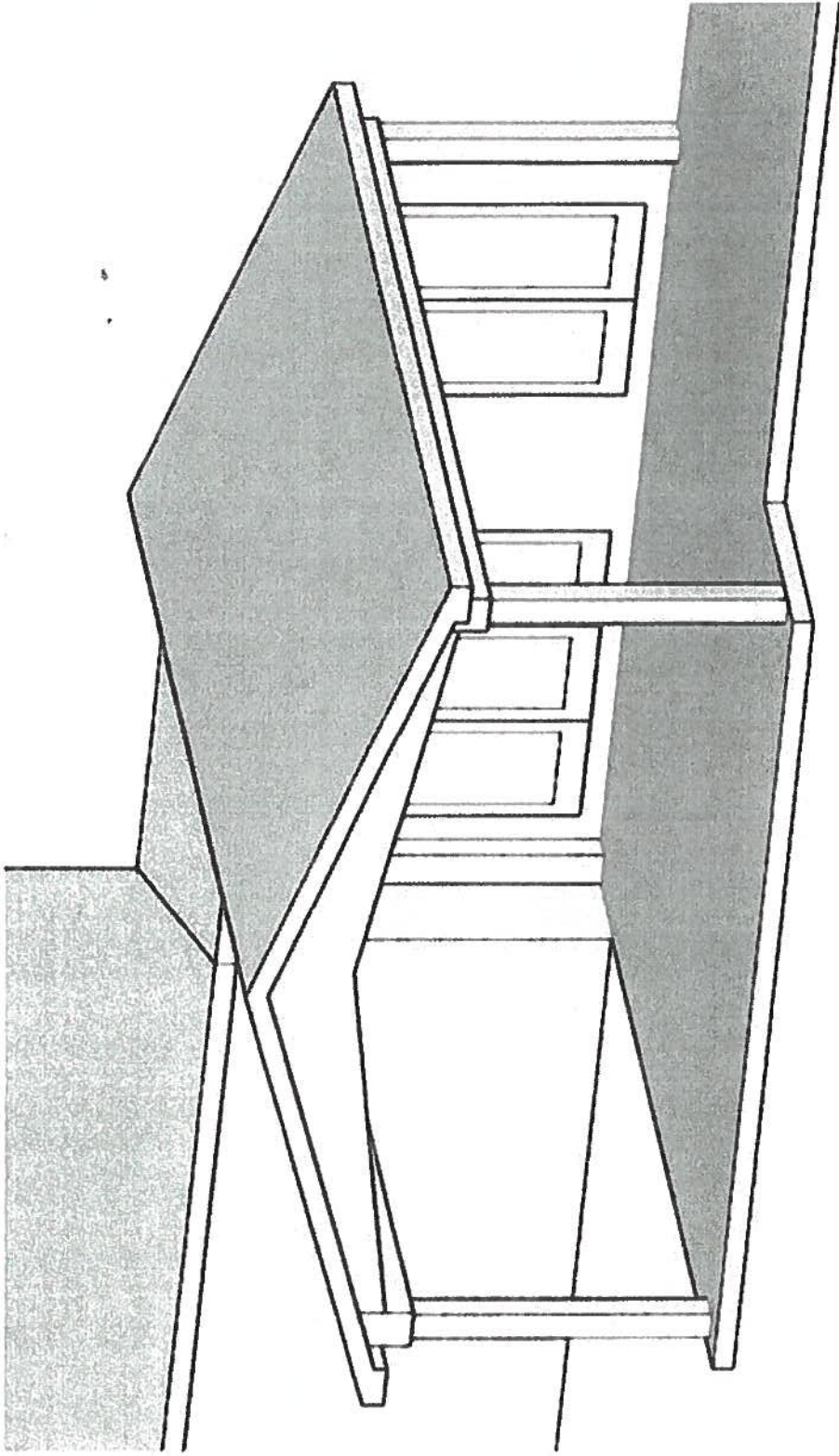
Table of Contents:

- 1) Title Page
- 2) Isometric View
- 3) Floor Plan
- 4) Rear Elevation
- 5) Right Elevation
- 6) Left Elevation
- 7) Wall Section
- 8) General Notes
- 9) Site Plan



The purpose of this project is to concrete paver patio with covered concrete patio

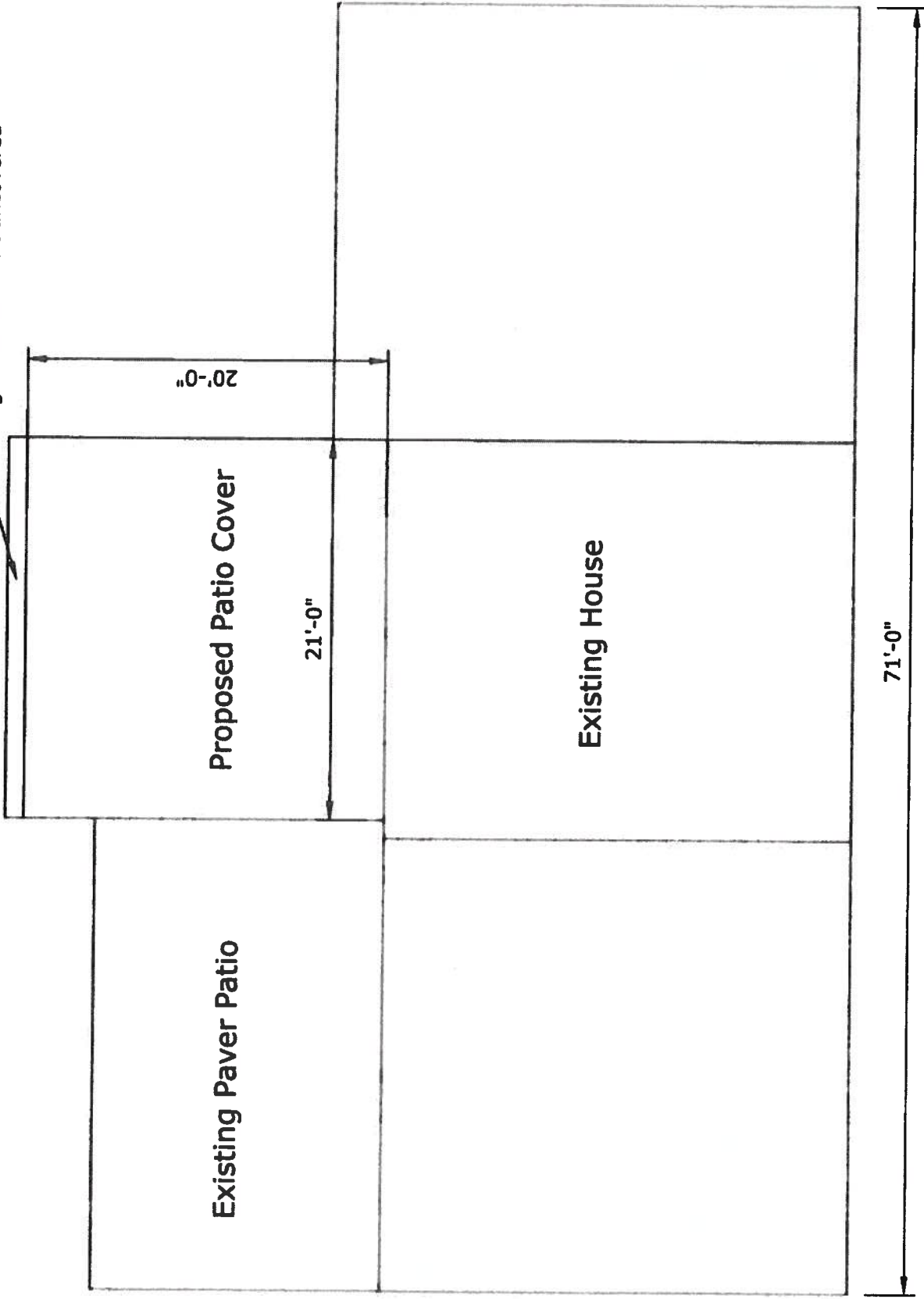
Contact Kyle Slagh with questions or concerns at 513-768-2708

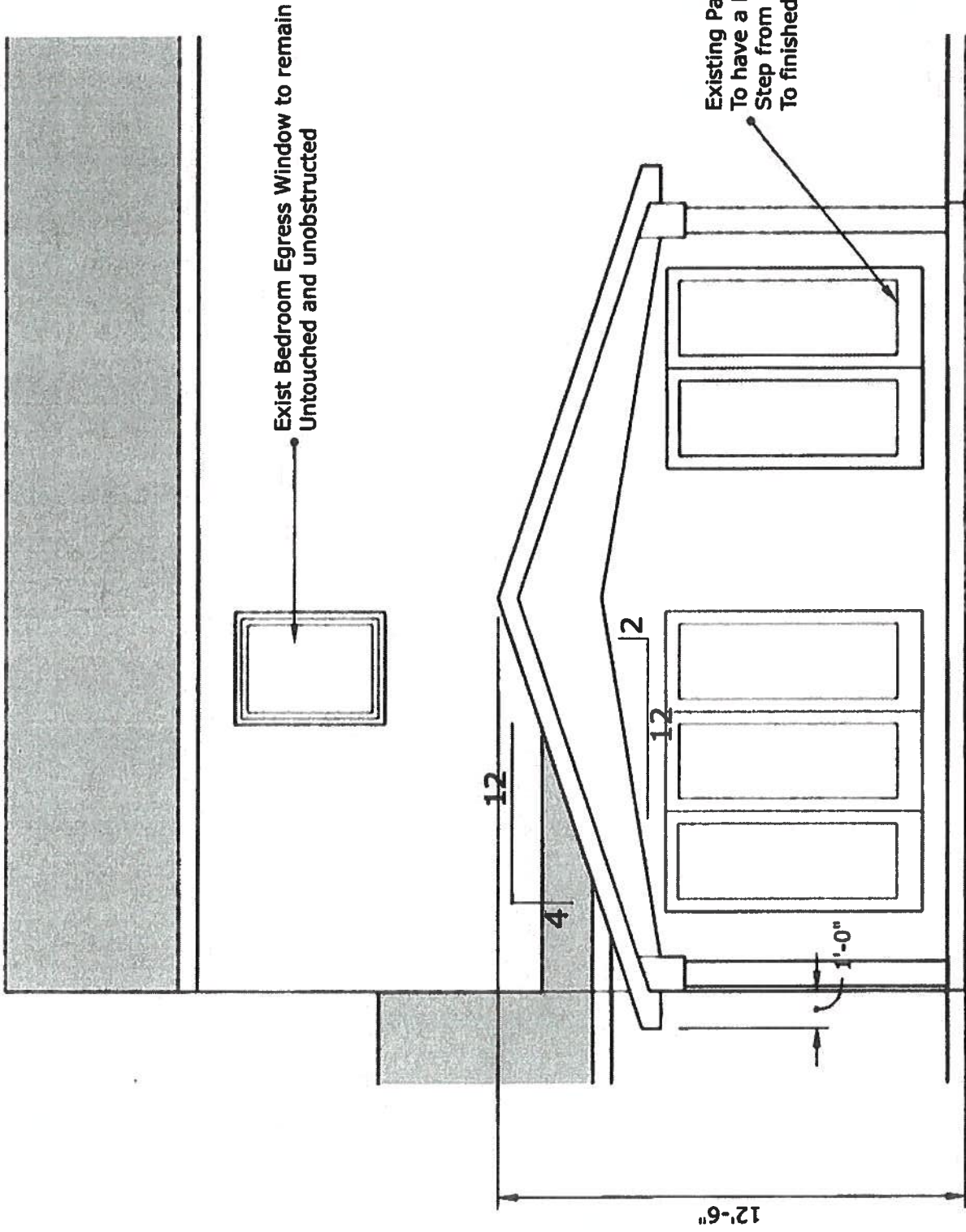


A 3D View

2

Existing Patio to be left uncovered





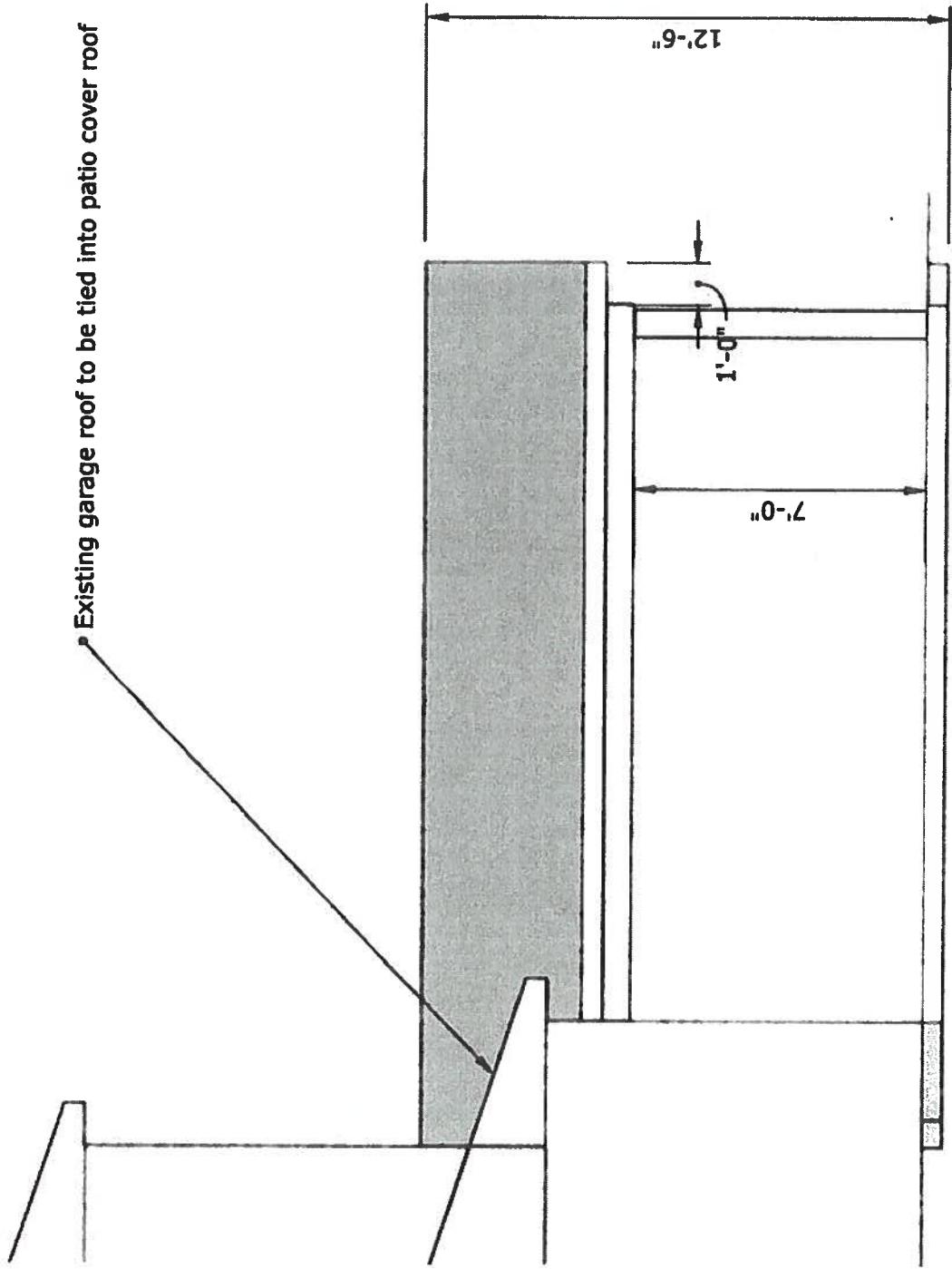
Exist Bedroom Egress Window to remain
Untouched and unobstructed

Existing Patio Doors
To have a Maximum 8 1/2"
Step from top of threshold
To finished Patio Elevation

A Rear Elevation

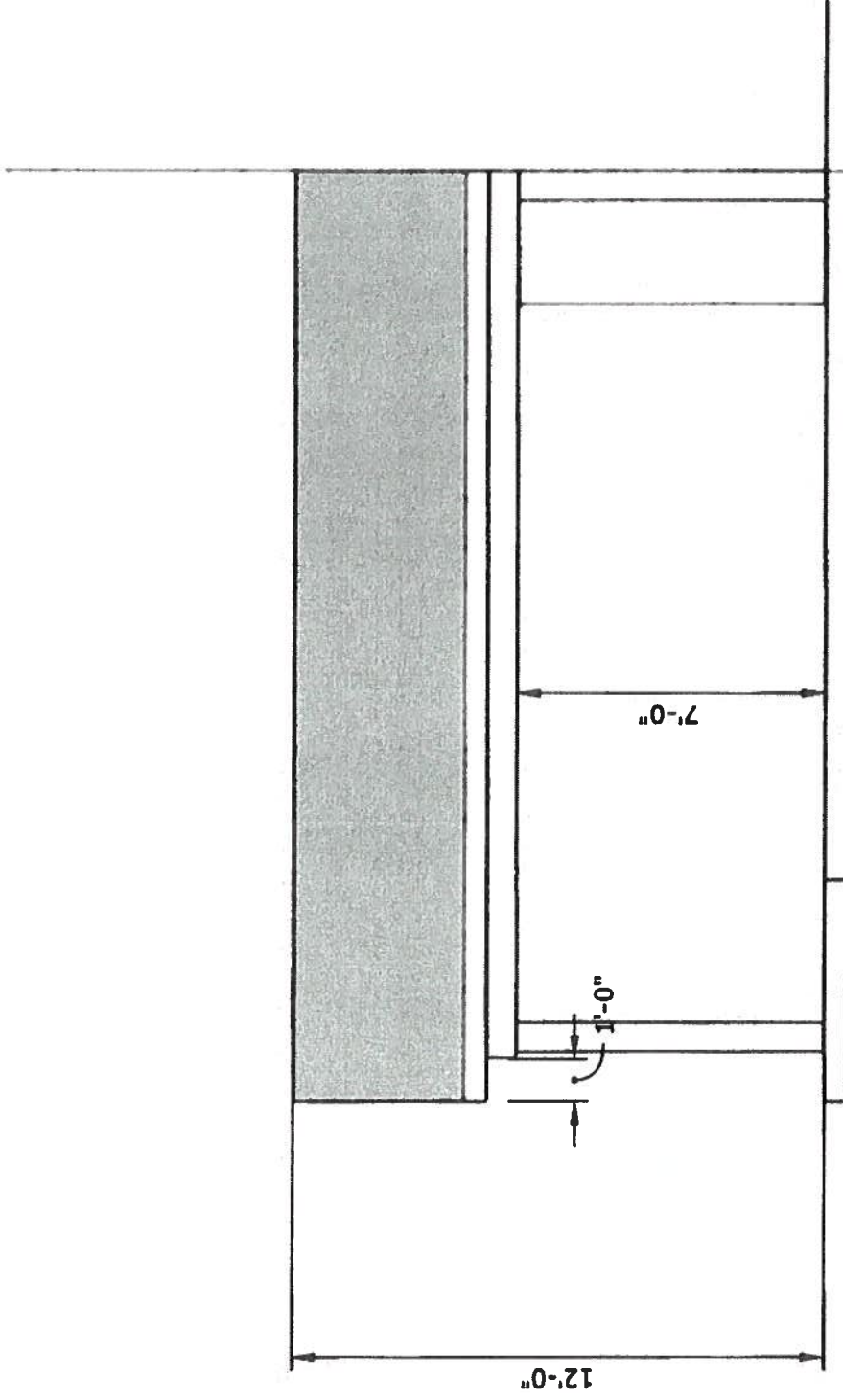
Scale 1/4" = 1'





A Right Elevation

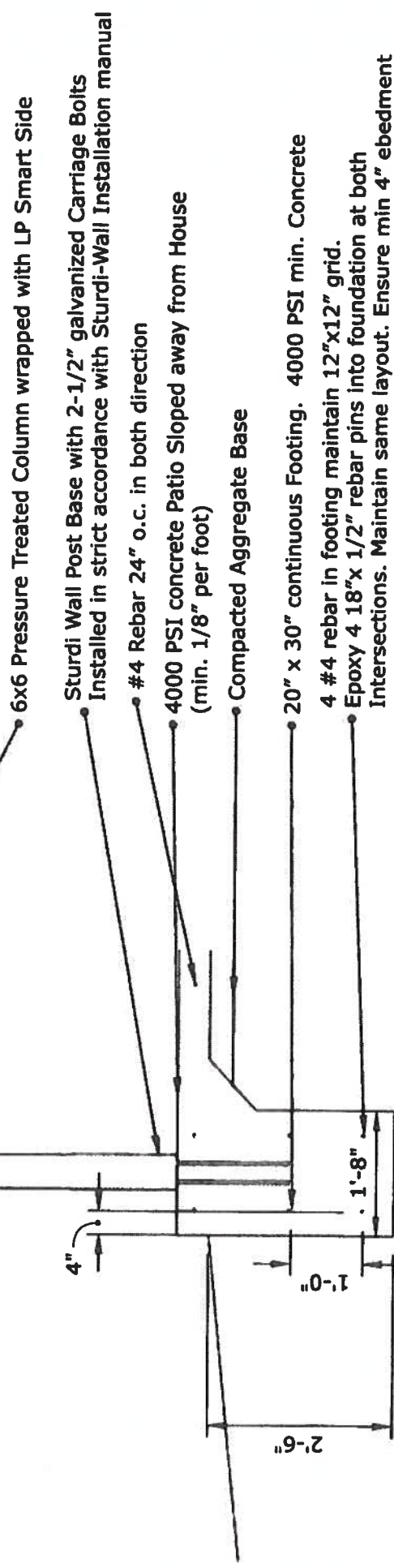
5 Scale 1/4":1'



A Left Elevation
6 Scale 1/4" = 1'

- Asphalt Shingle Roof on 1/2" OSB roof Decking. Ice and Water Barrier to be used around perimeter. 30 lb felt elsewhere
- Shingle over ridge vent to be installed
- 6" K gutters with Downspouts tied into existing Drains. 2x6 lookouts and sub-fascia with LP Smart Side trim
- Vented LP Soffit to be used
- Pre-manufactured Truss (See attached)
- Hurricane Clip
- 12" overhang with vented soffit
- 2- 1 3/4"x14" LVL's notched into 6x6
- 1.9E-2750F Minimum Strength
- 2 1/2" Galvanized Carriage Bolts

Note: Truss against house is to be attached with 3/8" lag screws installed 16" o.c. in both top and bottom chord of truss.



Note: all fasteners exposed to weather, soil or concrete shall be galvanized or stainless steel.
All wood exposed to weather, ground, or concrete to be Pressure Treated

Undisturbed soil

Design Loads

snow = 20 psf
floor live load (living areas) = 40 psf
floor live load (bedrooms) = 30 psf
wind load = 115 mph (3-second gust)
soil bearing capacity = 1,500 psf

Max. allowable live load deflection:

roof trusses/rafters > 3/12 w/ ceiling = L/240
roof rafters > 3/12 slope w/o ceiling = L/180
all other structural members = L/240

Min. compressive strength of concrete:
footings = 2,500 psi
foundation walls = 3,000 psi
exterior walks & landings = 3,500 psi

All concrete exposed to weather or subject to freezing or thawing during construction shall have air entrainment between 5%-7%.

All rafters, ridge boards, ridge beams, headers, floor and ceiling joists and collar-ties shall be minimum No. 2 grade southern yellow pine unless otherwise specified.

All lumber in direct contact with concrete, masonry, the ground or in proximity to exposed ground shall be pressure-treated for exterior use.

All structural members shall be full length or splices shall occur at an adequate structural bearing point.

All structural bolts shall be a minimum 1/2" diameter, corrosion-resistant, and be compatible with the specific type of pressure-treated lumber being used.

All pre-engineered structural wood connectors shall be the proper type and size to resist applicable loads and installed in strict accordance with the manufacturer's specifications & installation instructions. Fastener size and type shall be as specified to provide the maximum capacity of the connector unless otherwise specified.

Engineered roof truss drawings including a layout sheet stamped by a registered engineer in Ohio shall be furnished to the Building Inspector prior to the framing inspection. Wood trusses, rafters or ceiling joists shall be fastened to resist uplift forces, but for never less than 200 lbs. resistance pressure.

The discharge location of any downspouts shall be a minimum of 10'-0" from all adjacent property lines.

A roof shall be covered with 24/16 rated 7/16" thick plywood or OSB board fastened with 8d common nails at 6" o.c. around perimeter and 12" o.c. in field or intermediate supports. Use clips to anchor edges between trusses. A 4/12 slope or less roof shall be covered with two layers of 15# felt.

Bottom of concrete piers and/or footings shall extend a minimum of 30" below grade or undisturbed earth. Piers shall be 18" in diameter unless otherwise noted. Footings shall be 18" wide x a minimum of 8" thick unless otherwise noted.

Guardrails are required for all areas where a floor is 30" or greater above the adjacent grade. Guardrail post spacing shall not exceed 6'-0" or provide manufacturer literature specifying guardrail system will resist a 200# force in any direction when installed per instructions. Guards shall be a minimum height of 36" with balusters installed in a manner that does not allow the passage of a 4" diameter sphere.

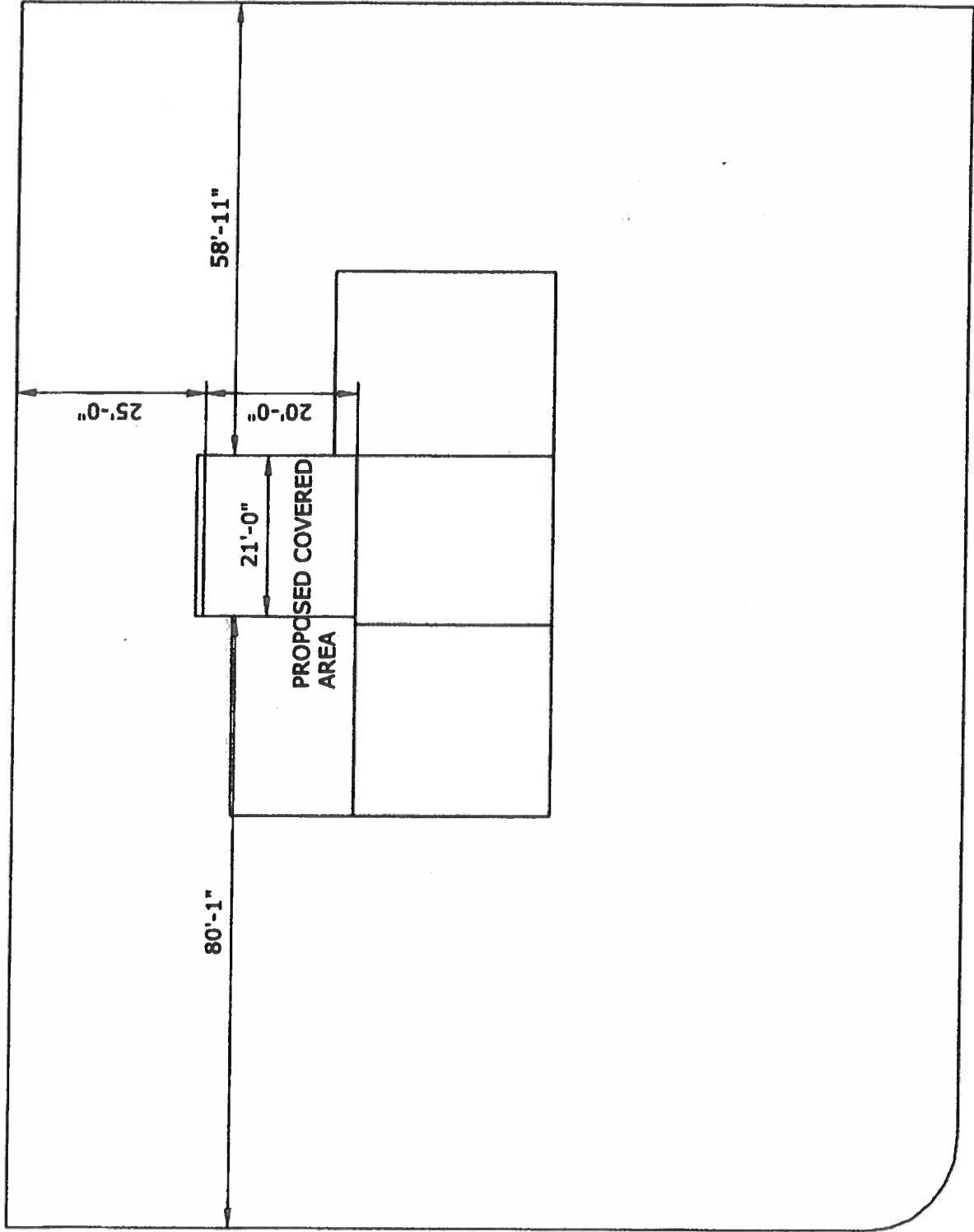
Handrails shall have a height between 34"-38". At the open sides of stairs the balusters shall not allow the passage of a 4" diameter sphere and shall be continuous and, at the top and bottom of the stair, terminate into a post (or return to a wall). Handrails shall be graspable, or an approved finger recess area provided.

Stairs shall be minimum 36" wide and have minimum 9" treads & maximum 8 1/4" risers. Stairs with solid risers shall have nosing's which project between 3/8"-1 1/4". Stairs with open risers shall be constructed in a manner that does not allow the passage of a 4" diameter sphere. The bottom of all stairs at finish grade shall be provided with a landing which is a minimum 3'-0" deep by the width of the stair. Illumination shall be provided for the full length of any interior or exterior stair and the associated landings.

The height of the existing door threshold of the main residence over the top of a concrete slab or wood floor shall not be greater than 16 1/2" (max. 2 risers @ 8 1/4") without the addition of a landing.



WOODSEGE RD



DUNWOODIE RD

A 9 Site Plan
Scale 1"=20'